

CONSERVATION PLAN

1001 Queen Street West

Issued: September 29, 2014 (revised August 5, 2015)



CAMH Redevelopment Phase 1C

PREPARED FOR:

Centre for Addiction and
Mental Health
1001 Queen Street West
Toronto, ON M6J 1H4

PREPARED BY:

ERA Architects Inc.
10 St. Mary Street, Suite 801
Toronto, Ontario M4Y 1P9

Project: 03-098-04
Prepared By: JG/AP/SJ/GM



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Cover Image: ERA Architects

EXECUTIVE SUMMARY

This Conservation Plan, prepared for CAMH, assesses the condition of the heritage resources at 1001 Queen Street West and provides recommendations for its conservation.

This plan is an update of an earlier version submitted September 29, 2014. The scope of work to the Asylum wall has been modified to conform to a scope approved by City of Toronto Heritage Preservation Services in 2009. The work proposed to the Storage Building, outlined in the September 2014 submission has been left unchanged.

This Conservation Plan is being submitted as part of the Site Plan Control application and should be read in respect to drawings by ERA Architects, attached as Appendix 6.

Prior to this report ERA has prepared a Summary Report (the Asylum Wall Condition Assessment and Conservation Strategy, dated May 19, 2004, and Addendum No. 1, dated July 27, 2004) for the development site. A Condition Assessment Update - Segment 11, dated September 30 2009, and A Heritage Strategy Report, dated November 22, 2012 was also issued.

The current site boundary wall, known as the Asylum Wall, was erected in 1889 (east and west portions) and in 1861 (south portion). The Asylum Wall is designated under Part IV of the Ontario Heritage Act for its Cultural resource value or interest. The two outbuildings that are located along the southern portion of the Asylum Wall were built c. 1888-9, and are also covered by the designation. The outbuildings are identified as the East Storage Building and the West Storage Building.

Portions of the Asylum Wall are being demolished and areas of later brick infill are being removed in order to accommodate the new roadway allowance, improved pedestrian access and to provide salvage material for repairs.

This Conservation Plan is intended to provide an overall understanding of the strategy for the required maintenance and repairs to ensure the long-term stability of this cultural heritage resource while allowing for the planned Phase 1C of the CAMH Redevelopment.

1 INTRODUCTION

1.1 Scope of the Report

ERA Architects Inc. has prepared this Conservation Plan for Segments 6-11 of the Asylum Wall (including the East Storage Building) at 1001 Queen Street West.

The purpose of this Conservation Plan is to identify the necessary conservation work required and to prepare drawings to define and locate this work. This Plan addresses the items listed on the Provincial Policy Statement Info Sheet #5 (see Appendix 2). This Conservation Plan is further to the Heritage Strategy Report for the development site, which contains detailed information about the Project History and Conservation Strategy.

The Heritage Strategy Report identifies preservation and rehabilitation as the conservation strategy for the heritage structures. This includes the retention and repair of the character defining elements on the exterior of both the Asylum Wall and the East Storage Building (preservation), and modifications to the Asylum Wall openings to accommodate new site-wide infrastructure (rehabilitation).

The following were used in the preparation of this report:

- Heritage Strategy Report, ERA Architects Inc., dated November 22 2012;
- Condition Assessment Update - Segment 11, ERA Architects Inc., dated September 30 2009;
- Condition Assessment and Conservation Strategy, ERA Architects Inc., dated May 19, 2004 (including Addendum 1, dated July 27, 2004);
- Part IV of the Ontario Heritage Act;
- Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada, 2010; and,
- The Province of Ontario's 2005 Provincial Policy Statement for the regulation of development and use of land.

1.2 Present Owner Contact

*Doug Campbell
Senior Project Manager
Centre for Addiction and Mental Health
Site Redevelopment Office
901 King Street West, Box 23
5th Floor
Toronto, Ontario, M5V 3H5*

1.3 Site Location, Description and Project History

The following information has been taken from the Heritage Strategy Report, prepared by ERA Architects Inc.:

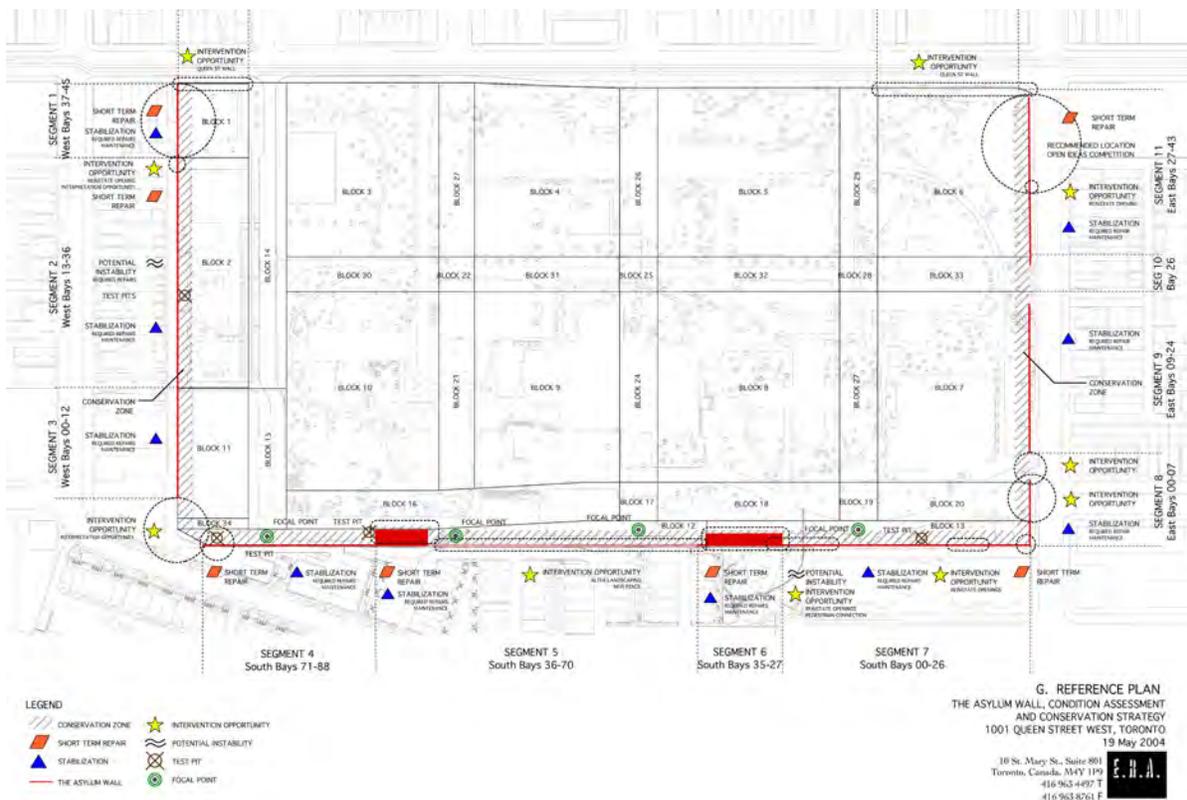
The Asylum Wall borders the site of the Centre for Addiction and Mental Health at 1001 Queen Street West, Toronto, along the East, South and West boundaries. For the redevelopment, it is divided into 11 segments and is comprised of 5 discontinuous lengths of wall with two buildings abutting it and an additional portion that exists as a stone rubble foundation.

As part of Phase 1A of the redevelopment, a series of buildings, a new road and a new park were constructed on the west end of the site. At that time, a portion of the west wall, segments 1 and 2 were conserved in 2007, as part of that redevelopment work. Foundation repairs and above grade repairs were undertaken separately at the beginning and the end of the Phase 1A construction. Conservation Plans for Segments 1 and 2 were issued on March 30, 2005. A Condition Assessment Update Report was prepared for Segment 11, on September 30, 2009, which include a review of the condition of all segments of the wall and recommendations for repair of Segment 11. Stabilization was undertaken on a portion of the

east wall, segment 11, as part of the Phase 1B Redevelopment in 2010. A Heritage Permit was submitted to the City of Toronto on February 2, 2011 to report on that work.

At that time, in 2009, the City of Toronto Heritage Preservation Services approved the demolition of Bay 43 Segment 11 (see copy of approval attached as Appendix 4).

Segments 6 (which includes the attached East Storage Building) and 7 on the south side, and Segments 8, 9, 10 and 11 on the east side are proposed to be conserved as part of the Phase 1C redevelopment.



Conservation Strategy Reference Plan, 2004, ERA

1.4 Existing Heritage Recognition

The following information has been taken from the Heritage Strategy Report:

The property was designated by City of Toronto by-law no. 1997-0085, describing a 1 meter wide strip of land on the west, south and east sides of 1001 Queen Street, on which the surviving parts of the wall remain. Of the numerous structures built on the original Toronto Asylum Grounds, only portions of the boundary wall remain.

The Centre for Addiction and Mental Health entered into a Heritage Easement Agreement with the City of Toronto on October 25, 2006. (Registered as Instrument No. AT1289220, see Appendix 1) The easement contains a “Reasons for Identification,” which outlines its heritage value and features, references the Conservation Strategy Report, dated May 19, 2004 including Addendum No. 1 dated July 27, 2004 and provides a framework for the submission of Conservation Plans in association with the redevelopment of specific adjacent parcels of the CAMH site.

The HEA references the Conservation Strategy Report, Dated May 19, 2004. The report reviewed the heritage value of the Asylum Wall, documented the existing condition of all of the wall segments, set out conservation principles to be applied to all work on and adjacent to the wall and finally set out a conservation strategy for each segment of the wall that addressed its specific condition and context as part of the redevelopment. This provides the template for all work undertaken on the wall.

2 REDEVELOPMENT DESCRIPTION

The Centre for Addiction and Mental Health is planning the commencement of Phase 1C of the redevelopment of its historic campus site at 1001 Queen Street West. As per the urban design guidelines, the redevelopment of the CAMH grounds is intended to “replace the existing institutional character of the site with a real community setting for client/patient care by creating an ‘urban village’ that extends the neighbourhood streets into the site and creates a series of blocks with various open spaces and buildings. It will contain a mix of uses and activities.”

This phase will involve the construction of CAMH clinical and research buildings, as well as the introduction of roads and infrastructure on the easterly portion of the site in accordance with the Master Plan .

This redevelopment also includes the Preservation and Rehabilitation of the designated Asylum Wall and East Storage Building at 1001 Queen Street West.

In accordance with the accepted Condition Assessment and Conservation Strategy dated 2004, the rehabilitation of the Asylum Wall includes the selective removal of portions of the Wall along the east side to create larger openings for the new roadway allowances. Infill material from former and/or original doorway and window openings in the Wall will also be removed to allow for improved pedestrian access to the CAMH grounds and to make new connections with the neighbouring properties.

3 BACKGROUND RESEARCH

The following information has been taken from the Condition Assessment Update report, prepared by ERA Architects Inc.:

When the Asylum was opened in 1850, a wood fence and trench, built in 1846-7, surrounded the site. In 1851 the Toronto architectural firm of Cumberland and Ridout was engaged to design a wall with lodges and entrance gate. The portion of wall between the lodges, fronting Queen Street had many decorative details including an iron fence on top of the wall. By 1852, an all brick wall was complete on the north, east and west sides of the property. In 1860, Kivas Tully, prepared a new design with improved details such as stone coping, for a wall along the south boundary which was completed by November 1861. At this point the 50 acres property, was fully enclosed with masonry walls, along Queen Street to the north, Massey Street to the east, the south property line and Abell Street to the West.

In 1878, a portion of the wall was demolished and replaced with an iron fence on Queen Street, to provide a view to the Superintendent's Residence. A large gap was created prior to 1881 at the south-west corner for rail sidings used for the delivery of coal to the property until the 1940's. Following the government's sale of 24 acres of land for development in 1888-9, the east and west walls were rebuilt reusing original materials, in their current locations. All available limestone caps were reinstalled in these portions, however there was not enough stone material to complete the wall to Queen Street.

By 1956, the east and west lodges had been demolished and the Cumberland and Ridout wall with iron fencing had been replaced. Prior to the 1950's, a central portion of the south wall had been demolished. A new opening along Shaw Street was made in 1970; a second opening was made at some time later. The remaining sections of the north wall were demolished in 1975-6.

Originally, 3 wood storage sheds were constructed at the south end of the property in 1878. Around 1888, two new brick buildings were constructed against the south wall. The west building was a carpenter's shop and the east building, a storage shed, which was significantly altered in the 1930's.

In recent years, residential redevelopment has occurred on the former industrial lands to the south. This has included the creation of a City parkette on the south side of segment 6.

4 HERITAGE CONSERVATION PRINCIPLES & PRACTICE

4.1 Principles

ERA has considered the following heritage charters, principles and guidelines as points of reference for developing this Conservation Plan and evaluating the proposed conservation work.

- Ministry of Ontario's *Eight Guiding Principles in Conservation of Historic Properties*;
- Ontario Heritage Foundation's *Manual of Principles and Practice for Architectural Conservation*, Revised Edition;
- Ontario Ministry of Culture's *Heritage Resources in the Land Use Planning Process*, InfoSheet #5, Heritage Impact Assessment and Conservation Plans;
- Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (the Standards and Guidelines);
- The *Burra Charter for the Protection and Enhancement of the Built Environment*; and
- The *Appleton Charter for the Protection and Enhancement of the Built Environment*.

4.2 Conservation Approach

The conservation approach to 1001 Queen Street West is informed primarily by Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (the *Standards and Guidelines*). This document is a pan-Canadian tool that is used to help guide change to a cultural heritage resource and includes an overview to the conservation decision-making process, the three conservation treatments (preservation, restoration and rehabilitation), standards for appropriate conservation and guidelines for conservation.

The conservation approach for the Asylum Wall at 1001 Queen Street is a combination of preservation and rehabilitation, as defined by the Standards and Guidelines.

The *Standards and Guidelines* define preservation as:

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Preservation can include both short-term and interim measures to protect or stabilize the place, as well as long-term actions to retard deterioration or prevent damage so that the place can be kept serviceable through routine maintenance and minimal repair, rather than extensive replacement and new construction.

Source: Standards and Guidelines (2nd Ed, Glossary)

The *Standards and Guidelines* define rehabilitation as:

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value.

Rehabilitation can include replacing missing historic features. The replacement may be an accurate replica of the missing feature, or it may be a new design that is compatible with the style, era, and character of the historic place.

Source: Standards and Guidelines (2nd Ed, Glossary)

Sympathetic rehabilitation will allow for changes to the Wall that accommodate the needs of the CAMH campus redevelopment, while protecting the cultural heritage value and heritage attributes of the property.

Alterations to the Wall have been located to have minimal impact on the heritage fabric. The selective removal of portions of the original brick structure also provides a source of original material that can be used in the preservation of the remaining Wall sections.

All 14 standards of the *Standards and Guidelines* have informed the approach taken in this Conservation Plan (see Appendix 2).

In order to realize this strategy, conservation work will include:

Asylum Wall (Segment 6-11):

- Demolition of selective portions of the Asylum Wall along the Shaw Street side of the CAMH site. The removal of these portions of the Wall is required to allow for new roadway access into the site and improve the openness of the rehabilitated Shaw Street open space.
- The reinstatement of one new opening in the east wall.
- Preservation of the exterior brick and fieldstone wall, including repointing, resetting of displaced stones, replacement of damaged/missing bricks, removal of cementitious material, installation of new flashings and stone caps.

East Storage Building (Segment 6)

- Demolition of two modern additions on the east and west ends of the Storage building. These additions are very small and do not enhance the character of the historic structure. Demolishing them will restore the original east and west elevations and will expose portions of the South Wall that are currently being concealed by these additions.

- Brick in unused door openings. These openings are later alterations.
- Repair and restoration of all exterior masonry, including repointing, replacement of damaged/missing bricks, and removal of paint from interior brickwork.
- Repair and rehabilitation of all original metal windows including sills, lintels and, window frames;
- Repair and rehabilitation of all exterior doors, including door frames and thresholds;
- Repair and rehabilitation of roofing, metal flashings, gutters and downspouts.

3.3 Qualifications of Contractors and Trades People

All conservation work should be carried out in accordance with the *Standards and Guidelines* by skilled and qualified trades people who have experience working with older buildings and have an understanding of historic building construction methods. Experienced masons and joiners will be critical to the proposed conservation work in this Plan.

Those working on the heritage structure should be familiar with the Conservation Plan and the chosen approach. They should understand the heritage attributes and interior features that are being conserved and practice minimal intervention as described in the *Standards and Guidelines*.

5 CONDITION ASSESSMENT & RECOMMENDATIONS

A review of Segment 6-11 was carried out by ERA Architects Inc. in the early Spring of 2014. The review was carried out from grade level. ERA Architects gained access to the interior of the East Storage building, with the exception of the interior of the west addition.

The purpose of this review was to confirm our understanding of the current condition of the Wall and to track any changes since the last Condition Assessment Update report of September 30th, 2009.

Refer to Appendix 5 for Conservation Plan drawings containing specific repair locations and quantities.

5.1 Description of Wall Construction

The standard elements of the Asylum Wall are rubble stone foundation, brick plinth, wall body with brick corbels on the east side, just below a projecting, dual pitch, stone cap. There is a cement cap where the wall is reduced in height in Segment 11. There are 3/4 height piers having dimensions of 580mm x 225mm (23" x 9"), which occur at typical 4.88 m (16'-0") intervals on both sides of Segment 6-7 and only the east side of Segment 8-11. Typically, the piers have flush, mono-pitch stone caps. The wall body is common bond construction, 3 wythes thick, of hand moulded fired clay bricks having dimensions, 65mm x 228mm x 115mm. (2 5/8" x 9" x 4 1/2"). There are 5 bricked-in former window openings and 2 bricked-in former doorway openings found in the Asylum Wall within the redevelopment area. The grade varies along the length of the wall.

5.2 Typical Issues

These items apply to all Segments.

1) **Stone foundation:** Where exposed above grade [between 150 mm (6") and 710mm (28")] the field stone foundation has been parged and repointed using dark, cement-based mortar. There is evidence that this treatment has been reapplied several times to the foundation stones. The parging is failing and delaminating in several areas and some of the stones are loose or have fallen out.

Recommendations:

(Note: Below grade foundation repair work will not be undertaken in tree protection zones).

C-28: Expose stone foundation to depth of 2'0" below grade to review condition.

C-29: Remove all cement-based parging and pointing from the full extent of the stone foundation. Reset and/or replace any loose or missing stones. Deep repoint the joints using a soft-lime based mortar. (Note: Additional grouting of core structure may be required for some sections.)

C-30: Ensure grade is at a relatively equal level, on each side of the wall. This may require the grade to be built up or lowered on one side, to ensure the maximum difference in grade is equal to the thickness of the foundation, +/- 400 mm (+/-16"). This work can only proceed in conjunction with foundation repair, grouting and the installation of a drainage layer.

C-31: Excavate to 2'0" below final grade at all accessible locations of the wall. Clean, deep repoint and grout if voids are encountered. Parge smooth to grade and install drainage layer prior to back fill.



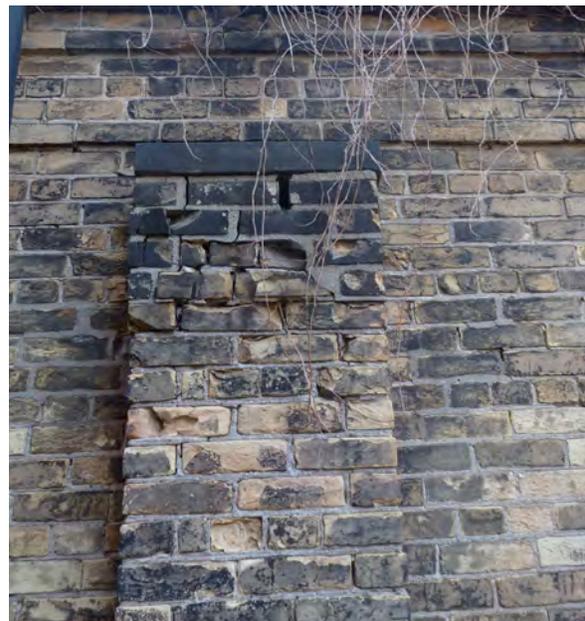
1. Typical cement based parging on stone foundation.



2. Existing service box in close proximity to wall.



3. Typical deterioration of brickwork under open joints in cap stone.



4. Typical deterioration of pier brickwork under stone pier cap due to minimal overhang.

C-32: Remove all signs, ferrous metal, fastener and outlets from the wall and repair damage to the brickwork.

2) **Adjacent Trees and Services:** There are a number of City trees are located in close proximity to the wall. Particular trees on the east side of the wall are too close to the wall and in some cases, the trees grow directly from the base of the wall. Similarly there are several utilities that are located in close proximity to the wall.

Recommendations:

C-01: Selectively remove trees and tree roots as identified by Arborist.

3) **Snow Pile up against the wall:** The water table and the stone base have areas of moderate to high spalling and loss of mortar as a result of snow piling, and the effects of road salt and salt spray.

Recommendations:

C-02: Reset and/or replace any loose or missing bricks and stones. Deep repoint the joints using a soft-lime based mortar. Provide mortar fillet to top of water table where sloped bricks are missing to ensure positive drainage.

C-03: Maintenance staff to not pile snow against wall when clearing paths and walkways and to discontinue the use of de-icing salts near the wall.

4) **Stone Cap Mortar Joints:** The mortar joints in stone cap stones have failed. This has resulted in wetting and localized spalling to small areas of brick immediately below the joint.

Recommendations:

C-04: Replace localized spalling of brick below existing stone caps. Install metal drip edge flashing on top of wall below caps. Reinstall caps with pin connections and new mortar joints.

5) **Pier Cap Stones:** The pier cap stones perform poorly. There is minimal overhang and no drip resulting in wetting and spalling of the bricks, and loss of mortar. There have been previous repairs in the majority of the piers. Typically these repairs have been completed using hard, dense replacement bricks and hard cement-based mortar, which is not compatible with the porosity of the original bricks and lime-based mortar. These repairs are stable in some locations, while in other places they have continued to fail and the replacement bricks have spalled, along with more of the original brick units.

Recommendations:

C-05: Replace deteriorated bricks and repoint brick joints in piers where damage is minor. Where major damage to brick pier exists, rebuild missing sections of brickwork and fully repoint pier. Install new metal drip edge below pier stone cap and reinstall stone cap, increasing projection drip.

5.3 Specific Issues

5.3.1 East Storage Building Segment 6 (Su Bays 27-34) – north side

The East Storage Building is a 1-storey masonry structure that was constructed in the 1880s. The 1860 portion of the Asylum Wall forms the southern wall of the structure and the remaining 3 walls are of similar masonry construction. Starting in the 1930s there have been significant alterations to this building, including two additions to the east and west ends. These additions have been constructed using modern, dense, red bricks (east side) and concrete block (west side). Currently the building is used for storage.

1) Additions & Alterations:

The additions have been constructed using modern, dense, red bricks (east side) and concrete block (west side). The east addition contains washroom facilities that are no longer used and the west addition is a hydro service space. The additions obscure the heritage character of the East Workshop Building and are contributing to the deterioration of the Asylum Wall.

The bricks around the doors and windows on the original portion of the north elevation have been rebuilt and infilled using dense, modern red brick that does not match the original brickwork. These bricks are stable and there is no recommendation for their replacement at this time.

C-06: Carefully demolish the east and west additions, including interior fixtures. The condition of the adjacent Asylum Wall and the East Storage Building elevations will need to be evaluated after the demolition work is complete to determine if additional masonry repairs are required. (Note: Quantities of the red bricks are to be salvaged for the infill repairs described in the Windows & Doors portion of this section).



5. View of north elevation of East workshop.



6. View of interior of East Workshop.



7. View of painted masonry on north side of Segment 6 of Asylum wall on interior of East Workshop.



8. View of concrete block addition on west end of East Workshop.

2) Masonry:

Refer to Section 5.3.2 for Conservation details associated with the south elevation.

The exterior brickwork is generally in stable condition where visible on the north, east and west elevations. There are some selective areas of deterioration requiring replacement and repointing. There are some minor cracks in the brickwork on both the outside and interior near the top of the door openings.

There is a orange staining pattern on the north elevation that runs about half a meter up the wall. This staining is likely the result of historical practice of storing coal up against the wall in this area. There are no repair recommendations for this item.

The interior of the masonry walls have been painted white on all four sides. Approximately 75% of the original east and west elevations are covered by the additions and could not be fully reviewed. The bricks located inside the east addition have been painted as well. ERA was not permitted to access the interior of the west addition as it contains hydro equipment.

The windowsills are modern precast sills with a large overhang and drip edge detail. The sills are in good condition as are the bricks below.

C-07: Selectively replace spalled bricks and fully repoint open joints near grade and adjacent to windows, doors and downspout locations.

C-08: Clean areas of mild efflorescence from brickwork.

C-09: Bond cracks in brickwork using lime-based mortar and replace any cracked brick units.

C-10: Fully remove paint from masonry. Test panels will be required to determine an appropriate method for the paint removal.

3) Windows & Doors:

The East Workshop building contains 4 window and 4 door openings on the north elevation. The windows are hopper operation steel sashes with steel frames. Safety bars have been installed at the window openings. The doors are modern metal doors and frames. One of the doors is no longer used and has been fixed shut. The brick rebuilding around the windows suggests that they were added at the same time as the east addition.

There are two door openings on the east elevation between the original structure and the addition.

The windows are in good condition with some minor surface corrosion and flaking paint. The metal doors and frames are rusting at the bottom.

C-11: Remove safety bars from the windows and repair holes. Remove paint from window sashes and frames down to bare metal. Remove surface corrosion and prime with zinc-rich corrosion inhibiting primer. Renew the glazing putty and repaint with two coats of metal paint. Colour to be selected by Heritage Consultant.

C-12: Replace metal doors and frames with new doors that are detailed to suit heritage character of building (3 locations).

C-13: Remove 3 unused doors and frames on north and east elevations. Infill openings on east elevation using salvaged or new bricks to match adjacent original bricks. Infill opening in existing red brick infill portion on north elevation using salvaged bricks to match adjacent red bricks.

4) Roof, Gutters and Flashings:

The main roof is steeply sloped which ensures good water shedding. The roof shingles, flashings and gutters are at the end of their service life.

The roof overhang on the north, east and west elevations are large enough to direct water away from the building. The overhang on the south elevation does not extend far enough to protect the Asylum Wall. (Refer to Section 5.3.2 #1 Workshop Adjacency for a description of this issue). It also looks like some sort of plywood soffit has been recently added to the edge of the Workshop roof overhang.

C-14: Remove existing asphalt shingles. Replace any deteriorated roofing boards. Install new asphalt shingle roof complete with ridge flashing and drip edge flashing at the eaves and gable ends. Install high and low venting of the roof to meet OBC requirements.

C-15: Remove plywood soffit on south elevation and inspect condition of brick and roof edge. Extend roof overhang detail beyond face of piers.

C-16: Replace gutters and downspouts on north elevation.

5.3.2 Asylum Wall Segment 6 (Su Bays 27-34) – south side

1) Storage Building Adjacency: The lack of overhang on the pier cap stones is particularly problematic on the south face of Segment 6, where there is a considerable amount of water run off from the East Workshop roof, which overhangs the south side of the wall. In the winter months ice tends to build up on the piers at this location leading to prolonged wetting of the masonry. Despite being partially rebuilt the piers in this Segment are heavily deteriorated. The piers have also been rebuilt using hard, dense replacement bricks and hard cement-based mortar, which has accelerated the problem.

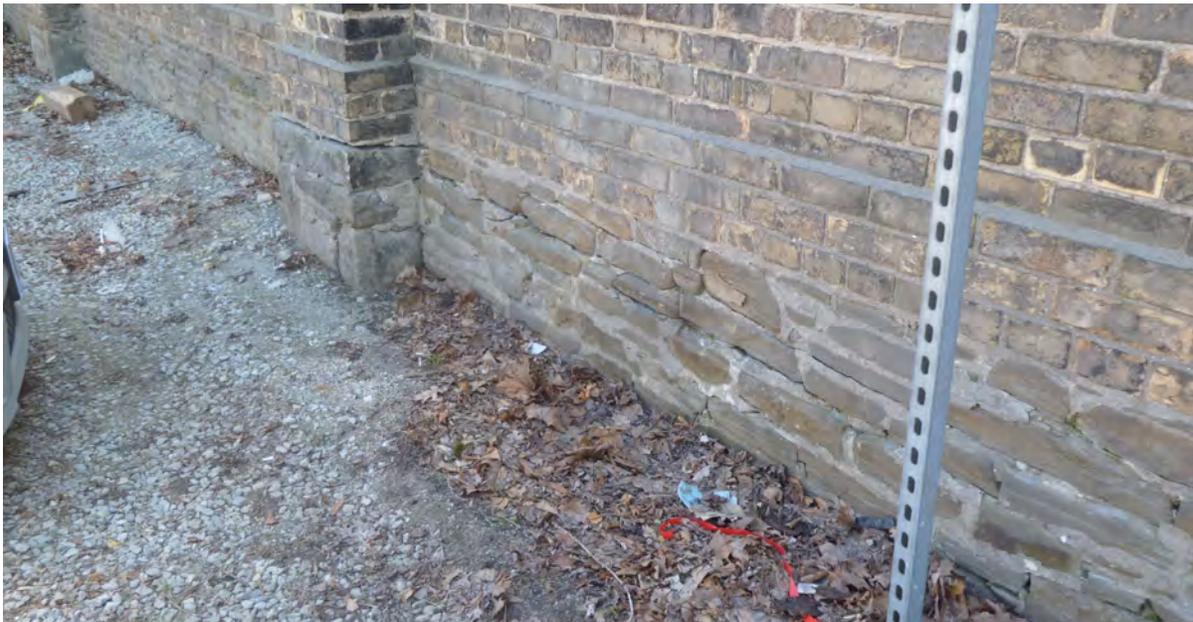
2) Infilled openings: 2 original window openings are visible on the south side only, as they are covered on the north side by an addition. These windows have been infilled using matching



9. Plywood soffit at Segment 6 below East Workshop roof overhang.



10. Deterioration of brick piers at Segment 6 below East Workshop roof overhang where cement cap exists.



11. Horizontal cracking in foundation joints at Segment 7 (north side).

replacement brick. The original arched lintels remain and are located 9 brick courses below the cap stone. The replacement bricks are in good condition and are not causing damaging to the wall.

3) Cement Cap: 2 of the stone caps has been replaced with a cement caps. The deterioration of the masonry below the cap is similar to what was found in Segment 11 (Refer to 5.3.7 for description).

Recommendations:

C-17: Rebuild missing sections of brickwork and fully repoint pier. Install new metal drip edge below pier stone cap and reinstall stone cap, increasing projection drip.

C-18: Review condition of openings on north side after addition is removed. Consider option for reinstating original openings to create physical connections between CAMH site and Workman Park. Introduce new stone sill with reglet to protect brick below openings.

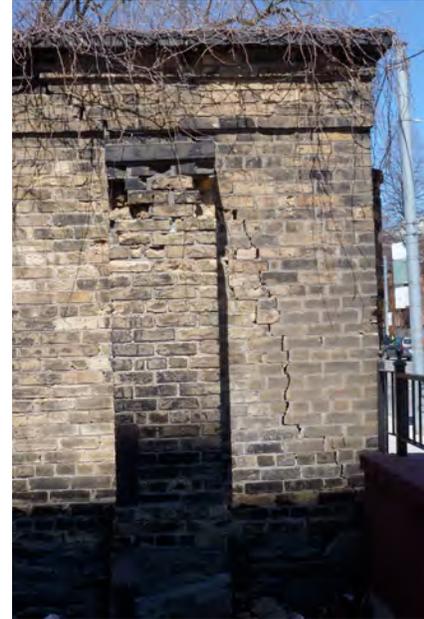
5.3.3 Asylum Wall Segment 7 (Su Bays 01-26)

1) Settlement: There is localized settlement in two bays of the wall resulting in cracking and displacement of the foundation that was initially identified in the 2004 review. The condition was again reviewed in 2007 and at that time there was evidence of movement over the interval. Additional horizontal cracking was noted in the brick joints in the wall above suggesting that the wall is continuing to settle in this location.

2) Infilled openings: 3 original window openings have been infilled with matching replacement brick, the original arched lintels remain and are located 9 brick courses below the cap stone. In one of the window locations the wood sill remains in place. There is 1 former pedestrian opening that has been infilled with mismatched red bricks. This opening does not have the



12. Horizontal cracking in brick joints at Segment 7 (north side).



13. Structural cracking at SE corner at Segment 7 and 8.



14. Community Garden at Segment 7 and 8 (north side).



15. Red brick infill at former opening in Segment 7. Note cracking and settlement of brickwork in this area.

same arched detail as the others. The portion of the wall around this opening has settled considerable and there is a noticeable displacement of the brick coursing.

3) Cracking at SE Corner: At the corner between Segment 7 & 8 there are a number of large cracks that run from the top of the wall down to the base. These cracks extend through the full thickness of the wall.

4) Community Garden and Vegetation Growth: There is a community garden on the located at the SE corner of the site on the CAMH side of the wall. The soil bed sits high up against the wall and covers the foundation and water table masonry effectively holding moisture against the base of the wall in this area. And because the foundations are generally parged with hard cement on the opposite side of the wall there is no route for this moisture to escape. Vines and other vegetation from the Community Garden are also growing into the cracks that were noted in Item #3 and are contributing to the displacement of the masonry.

5) Building and Parking Adjacency: There is a Maintenance Building and Greenhouse structure located in close proximity to the wall (within 1 meter). The space between these buildings and the walls was only partially accessible for review. There is debris being stored in this space and around the buildings. There is a lot of moisture damp in this section of the wall which is supporting a considerable amount of vegetation growth from within the masonry.

There is also crushed stone paved parking area on the north side of the wall. There are no barriers installed between the parking area and the wall and some of the bricks in the piers have been damaged due to vehicular impact.

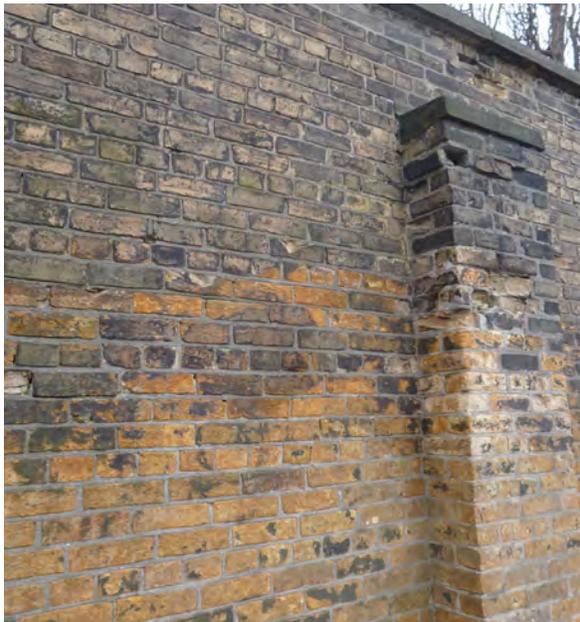
6) Cement Cap: 1 of the stone caps in Bays 10 - 11 has been replaced with a cement cap. The deterioration of the masonry below the cap is similar to what was found in Segment 11 (Refer



16. Parking spaces adjacent Segment 7.



17. Space between Segment 7 and Maintenance building contains debris and vegetation growth.



18. Oxide staining on brickwork likely due to historical practice of storing coal against wall.

to 5.3.7 for description). However the deterioration in this area has advanced because there is no metal flashing protection the cement cap. There are a large quantity of spalled bricks in the wall and pier below along with a number of cracks running through the brickwork.

7) Staining on Brickwork: There is a orange staining pattern on the north side of the wall that runs halfway up the wall and over Bays X-26. This staining is likely the result of historical practice of storing coal up against the wall in this area. There are no repair recommendations for this item.

Recommendations:

C-19: Stabilize stone foundation in Bay 12, 14 & 15 with underpinning. Fill cracks in brick joints using soft, lime-based mortar.

C-20: Reinstate original opening in Bay 24 and 26 to create physical connection between the CAMH site and Workman Park. Introduce new stone sill with reglet to protect brick below openings.

C-20A: Reinstate infill opening in Bay 04, 05 and 22 along this segment and introduce new stone sill with reglet. Install new wrought iron gate as per detail.

C-20B: Replace existing mismatched brick in Bay 12 with brick and stone to match.

C-21: Rebuild SE corner with a new expansion joint detailed to allow for differential movement between the two Segments.

C-22: Lower grade at former Garden. Remove all vines and vegetation growth and level grade.

C-23: Greenhouse and Maintenance Building to be demolished, refer to Landscape drawings for site rehabilitation.

5.3.4 Asylum Wall Segment 8 (Sh Bays 01-07)

1) Cracking at SE Corner: Refer to 5.3.4 for description of this issue.

2) Community Garden and Vegetation Growth: Refer to 5.3.4 for description of this issue.

5.3.5 Asylum Wall Segment 9 (Sh Bays 08-23)

Only the Typical Issues described in 5.2 apply to this Segment.

5.3.6 Asylum Wall Segment 10 (Sh Bays 26-27)

It is being proposed that a 10m portion of this wall be removed to provide wider roadway access to the site from Shaw Street.

Recommendations:

C-27 Dismantle Bay 26 and part of Bay 27 to provide repair material and provide clearance from new road allowance.

5.3.7 Asylum Wall Segment 11 (Sh Bays 28-43)

It is being proposed that a bay at the north end be dismantled to provide repair material, reduce the extent of fabric requiring repair and facilitate visual openness into the future park area from the intersection at Queen Street West and Shaw Street.

1) Cement caps: Within this section the original stone caps were replaced with cement caps from Bay 34 to 43. The cement caps do not perform as well as the stone caps, and as a result there has been a considerable amount of masonry deterioration in this section due to water saturation. A flashing cap has protected the cement caps with a drip edge detail since 2010. This addresses the watershedding deficiencies in the caps and now provides protection to the brickwork below. However, the damage to the bricks that predates the installation of the flashing cap has not been addressed yet. Large areas of spalled bricks exist immediately below the cement cap and the mortar joints have failed on both east and west sides.

2) Infilled openings: 1 original doorway opening has been infilled in Bay 32 using matching replacement brick. The original arched lintel remains and is located 1 brick courses below the cap stone. Portions of original stone cap stones had been used to fill in areas of the foundation in this location. The replacement bricks are in good condition and are not causing damaging to the wall.

Recommendations:

C-24 Dismantle Bay 43 of Segment 11 to provide repair material, reduce the extent of fabric requiring repair and facilitate visual openness into the open space area from the intersection at Queen St W and Shaw Street. Salvage material removed for reuse.

Identify and salvage for reuse any inscribed bricks in the dismantlement area. (Inscribed bricks were engraved by Asylum patients who had build the wall and have historic value).

Install new store cap on plinth to remain and repair plinth and foundation.

C-25: Replace spalled bricks and fully repoint brick courses below cap on both sides of wall. Replace remaining cement caps in Bays 34-42 with salvaged stone caps that have been stockpiled on-site and additional new cap to match existing as required. Install metal drip edge flashing on top of wall below caps. Install caps with pin connections and new mortar joints.

C-26: Restore original height at Bay 32/33 and adjacent pier around the bricked in opening and reinstate opening with repair of arch. Salvage material removed for reuse.



19. Deterioration of brick work underneath cement caps at Segment 11.



20. Infilled doorway in Segment 11. (Note that wall height has been reduced at this Segment.)

6 APPENDICES

Appendix 1: Provincial Policy Statement Info Sheet #5- Content of a Conservation Plan

• InfoSheet •

Provincial Policy Statement (PPS, 2005)
Cultural Heritage and Archaeology Policies 2.6

MITIGATION OR AVOIDANCE

Methods of minimizing or avoiding a negative impact on a cultural heritage resource include, but are not limited to:

- Alternative *development* approaches
- Isolating *development* and *site alteration* from *significant* built and natural features and vistas
- Design guidelines that harmonize mass, setback, setting, and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations
- Buffer zones, site plan control, and other planning mechanisms

For more information contact:

Ontario Ministry of Culture
400 University Avenue, 4th Floor
Toronto, ON M7A 2R9
General_Info@mcl.gov.on.ca
(416) 212-0644
1 (866) 454-0049
web page:
<http://www.culture.gov.on.ca>

Additional information on the Provincial Policy Statement, 2005 is available on the Ministry of Municipal Affairs and Housing web page:
<http://www.mah.gov.on.ca>

What is the content of a conservation plan?

A Conservation Plan generally contains, but is not limited to the following information:

1. **Identification** of the conservation principles appropriate for the type of cultural heritage resource being *conserved*;
2. **Analysis** of the cultural heritage resource, including documentation of the resource, descriptions of cultural heritage value or interest, assessment of resource conditions and deficiencies, discussion of historical, current and proposed use;
3. **Recommendations** for conservation measures and interventions, short or long term maintenance programs, implementation, and the qualifications for anyone responsible for the conservation work;
4. **Schedule** for conservation work, inspection, maintenance, costing, and phases of rehabilitation or restoration work;
5. **Monitoring** of the cultural heritage resource and the *development* of a long term reporting structure.

Who is qualified to prepare a heritage impact assessment and conservation plan?

Heritage impact assessments and conservation plans for *built heritage resources* and *cultural heritage landscapes* must be prepared by qualified individuals, such as architectural and landscape consultants with knowledge of accepted standards of historical research, identification, evaluation, and methods of conservation and mitigation. For properties containing *archaeological resources* or *areas of archaeological potential*, only licensed professional archaeologists can carry out technical assessments and alter known archaeological sites.

Further information on heritage impact assessments and conservation plans will be available in future technical guides and manuals developed by the Ministry of Culture.

*Note: This InfoSheet was developed to assist participants in the land use planning process and to understand the PPS, 2005 policies related to the conservation planning of cultural heritage and *archaeological resources*. The information in the InfoSheet should not be relied upon as a substitute for specialized legal or professional advice in connection with any particular matter.

Header photos: Elora Mill (Copyright 2006 Ontario Tourism), Cunnington-Osbome Farm Complex, Caledon (Sally Drummond), Whig-Standard Building, Kingston (Marcus Létourneau), Victoria Park Heritage Conservation District, Kitchener (Ministry of Culture), Black Bay Bridge, Thunder Bay (Ministry of Culture)

InfoSheet #5 | page 4

Appendix 2: Parks Canada's 14 Standards (the Standards and Guidelines)

THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

- 10.** Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
- 11.** Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12.** Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

- 13.** Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
- 14.** Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Appendix 3: Heritage Easement Agreement

Do Process Software Ltd. • (416) 322-6111

Document General
Form 4 - Land Registration Reform Act

CAMH-Heritage Agree **D**

Province of Ontario *OK by Registrar*

(1) Registry Land Titles (2) Page 1 of 35 pages

(3) Property Identifier(s) Block 21298 - Property 0357 (L.T) Additional Sec Schedule

(4) Nature of Document
Application to Register Notice of Agreement (Section 71(1) of the Land Titles Act)

(5) Consideration
Dollars \$

(6) Description
Part Block 3, Plan Ordnance Reserve Toronto, designated as Parts 2, 3, 7, 8, 10 to 21 inclusive, Plan 66R-22560; S/T easement over Parts 1 to 7 on Plan 66R-22478, in favour of Rogers Cable Inc., as set out in Instrument No. AT29865; City of Toronto.

(7) This Document Contains: (a) Redescription New Easement Plan/Sketch (b) Schedule for: Description Parties Other Additional Sec Schedule

AT 1289220
CERTIFICATE OF RECEIPT
RÉCEPISSE
TORONTO (66)
2006-10-25
12-21
9

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(8) This Document provides as follows:
CENTRE FOR ADDICTION AND MENTAL HEALTH, the registered owner of the lands described in Box (6) above, hereby applies under Section 71(1) of the Land Titles Act for entry of a Heritage Easement Agreement dated October 1, 2006, pursuant to Section 37(1) of the Ontario Heritage Act, R.S.O. 1990, c.18, on the register for the said lands.
CENTRE FOR ADDICTION AND MENTAL HEALTH hereby authorizes the land registrar to delete the entry of this Notice from the parcel register without notice or application with the consent of the parties shown below.
This notice will be effective for an indeterminate time.
Address for service of the Applicant is 1001 Queen Street West, Toronto ON M6J 1H4
CENTRE FOR ADDICTION AND MENTAL HEALTH
by its Solicitors, McCarthy Tétrault LLP
Per: *Godyne*
Godyne N.L. Sibay

Continued on Schedule

(9) This Document relates to instrument number(s)

(10) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature Y M D
CENTRE FOR ADDICTION AND MENTAL HEALTH
by its Solicitors, McCarthy Tétrault LLP Per: *Godyne* 2006 10 25
Godyne N.L. Sibay

(11) Address for Service
1001 Queen Street West, Toronto, ON M6J 1H4

(12) Party(ies) (Set out Status or Interest)
Name(s) Signature(s) Date of Signature Y M D
CITY OF TORONTO

(13) Address for Service
55 John Street, Metro Hall, 26th Floor, Toronto ON M5V 3C6

(14) Municipal Address of Property
1001 Queen Street West
Toronto, ON M6J 1H4

(15) Document Prepared by:
Donna Dimeski
McCarthy Tétrault LLP
Box 48, Suite 4700
Toronto Dominion Bank Tower
Toronto, Ontario
M5K 1E6

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Fees and Tax	
Registration Fee	70
Total	70

Document prepared using The Conveyancer

Appendix 4: 2009 City of Toronto Heritage Preservation Services Approval

Re: 1001 Queen Street West, Heritage Condition Assessment Page 1 of 1

Doug Campbell

From: Dan DiBartolo [ddibart@toronto.ca]
Sent: Friday, December 18, 2009 2:17 PM
To: Doug Campbell; Andrew Pruss
Cc: Lynda Macdonald; Mark Crawford
Subject: RE: 1001 Queen Street West, Heritage Condition Assessment

To whom this may concern,

Heritage Preservation Services (HPS) has reviewed the submitted Condition Assessment Update for "The Asylum Wall - Segment 11 at 1001 Queen Street West, prepared by E.R.A. Architects, Inc (ERA), dated September 30, 2009.

HPS hereby acknowledges that ERA has provided a satisfactory "updated condition report", and that the conservation and maintenance strategy proposed for the heritage wall segment in Part 21 is acceptable. Moreover, the proposed costs to be secured by a Letter of Credit as recommended in Section 2.5 are reasonable. Please contact Dan DiBartolo of HPS at 416 338 1093 should you have any questions.

regards,

dan dibartolo
Heritage Preservation Services

This email has been scanned by the CAMH Email Security System.

12/21/2009

Appendix 5: Conservation Drawings, prepared by ERA Architects Inc., July 2015

Project
CAMH ASYLUM WALL - PHASE 1C

Address
1001 Queen Street West

Project no.
03-098-04

Issued for
SITE PLAN CONTROL - R2

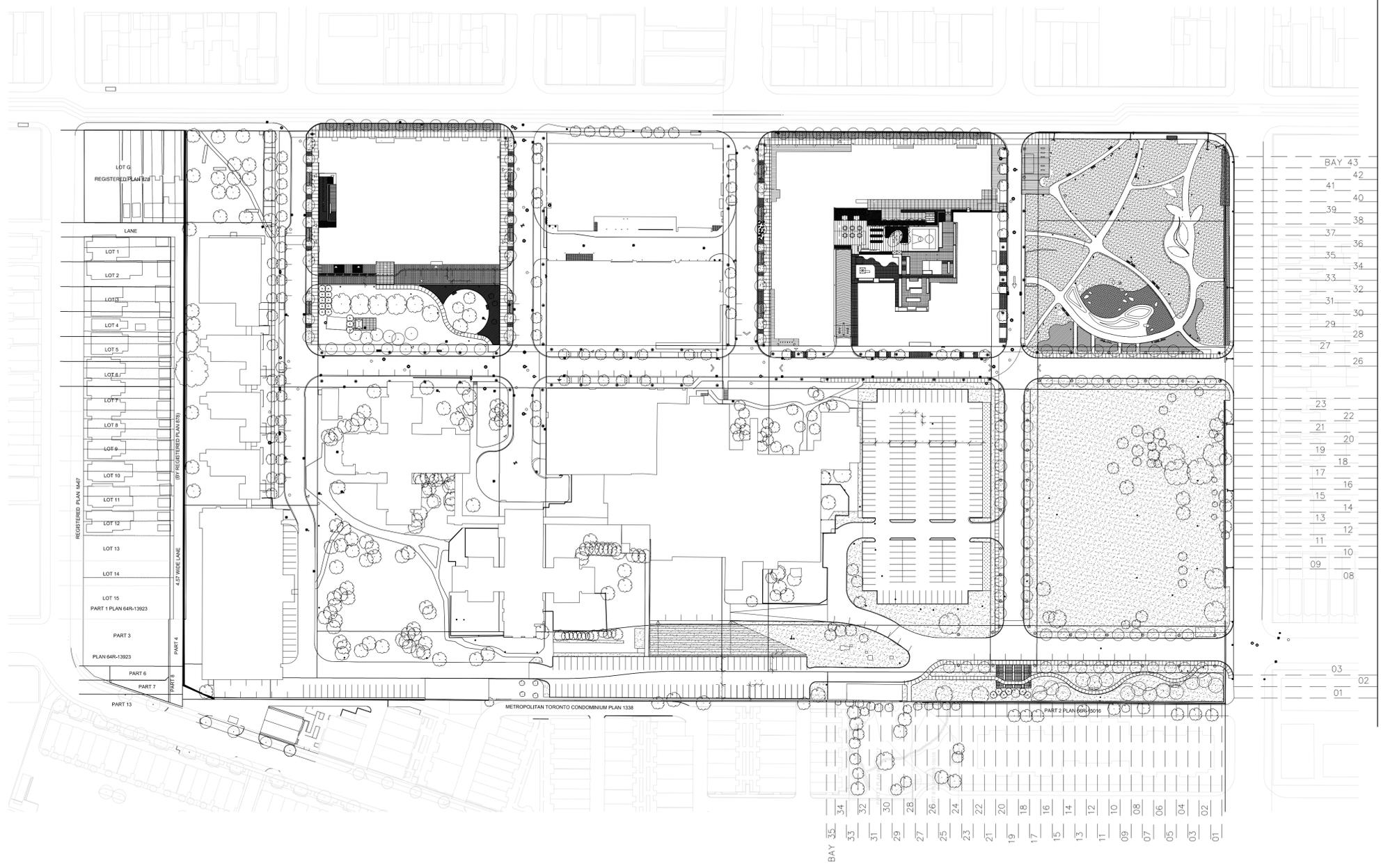
Date
5 August 2015

Drawing List

Key Plan	HA100
Segment 6 - Demolition Plan & Elevations	HA101
Segment 6- Conservation Plan & Elevations	HA102
Segment 7 - Conservation - Elevations	HA103
Segment 8,9,10 & 11- Conservation - Elevations	HA104
Details, Conservation Notes & Wall Assembly	HA105

Prepared for:
Centre Addiction & Mental Health
1001 Queen Street West,
Toronto, ON,





Rev.	Date	Issued
	2014-07-17	REVIEW
	2014-08-28	REVIEW
	2014-09-29	SITE PLAN CONTROL
1	2015-07-21	SITE PLAN CONTROL

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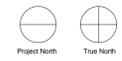


E.R.A.

E.R.A. Architects Inc., 10 St. Mary St., Suite 801, Toronto, Canada, M4Y 1P8
 T: (416) 955-4407 F: (416) 955-4401 info@era.ca www.era.ca

The Centre for Addiction and Mental Health
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1001 Queen Street West, Toronto Ontario

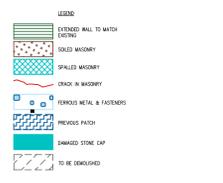
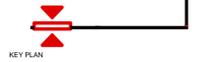
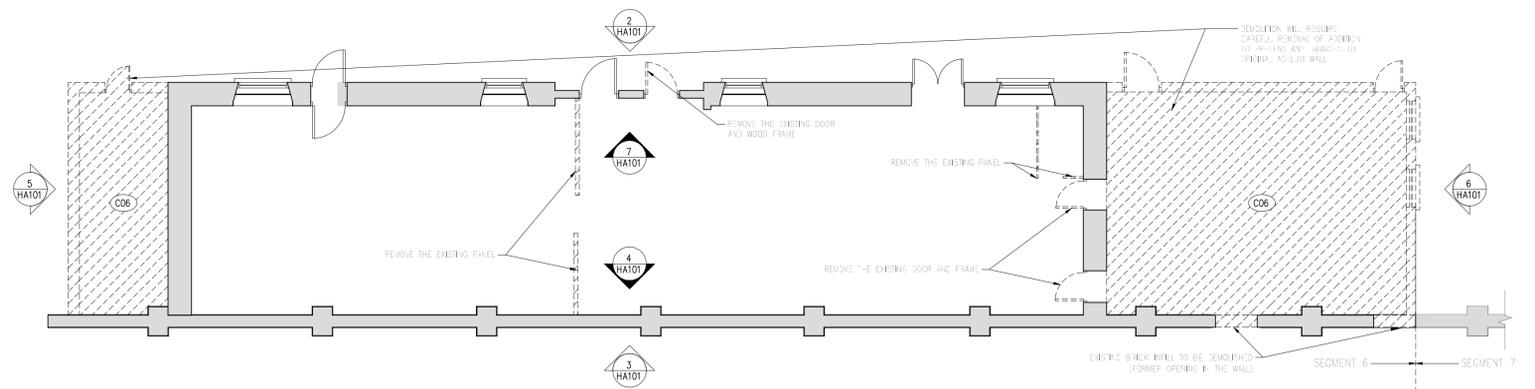
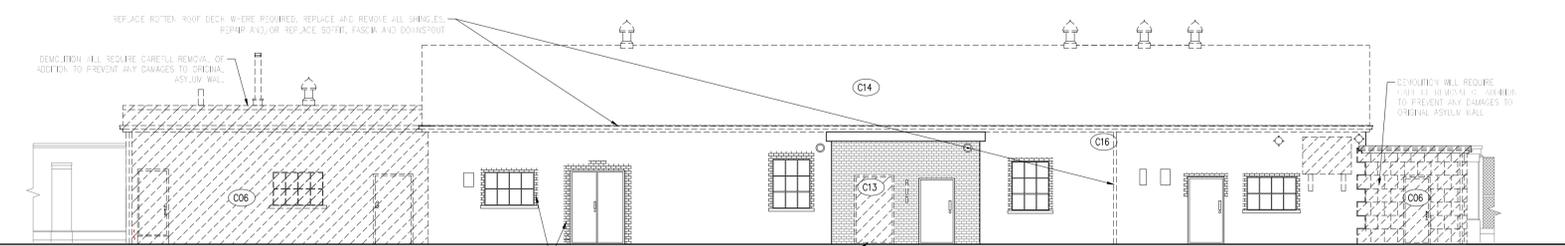
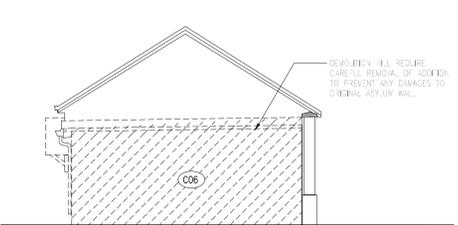
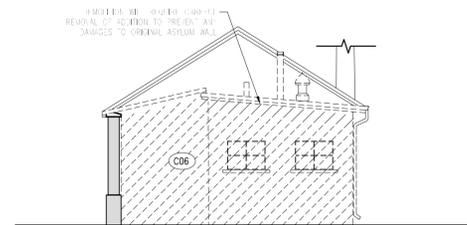
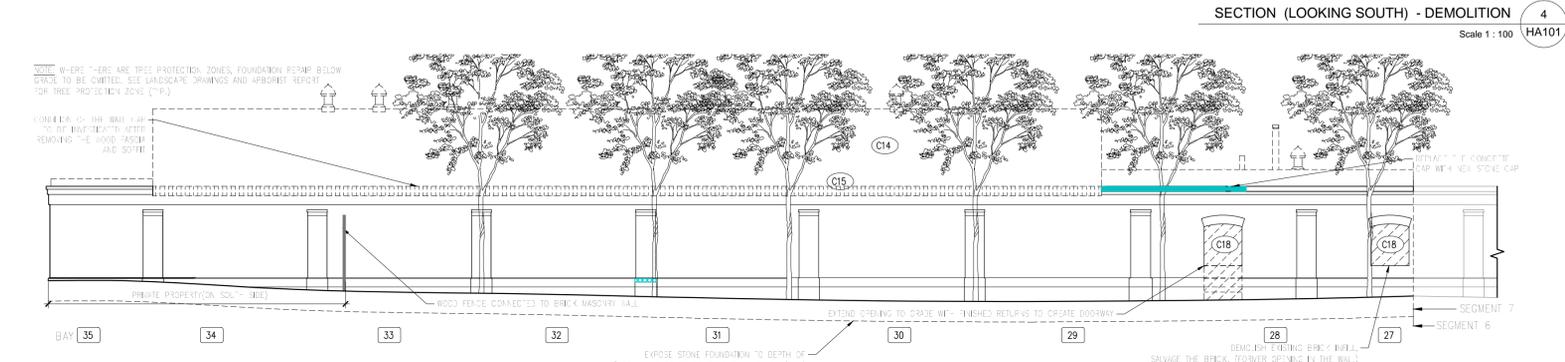
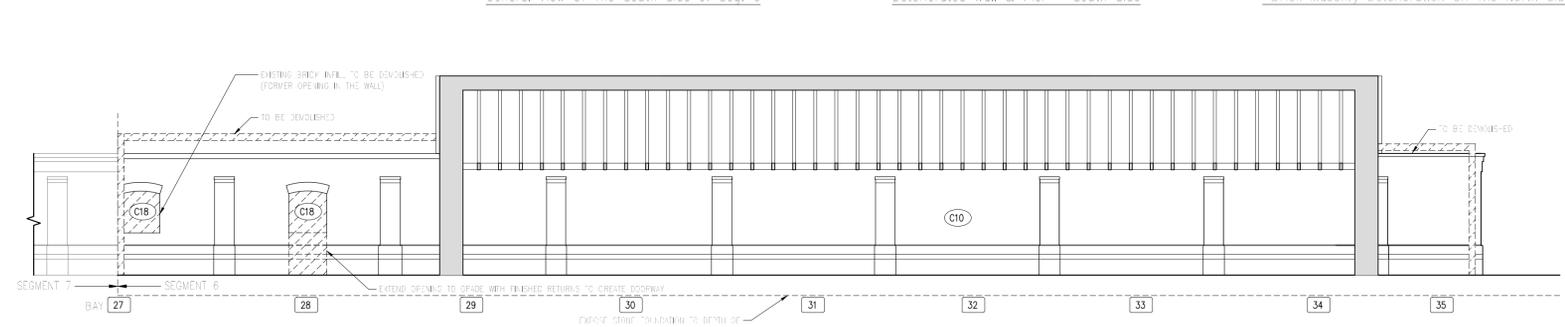
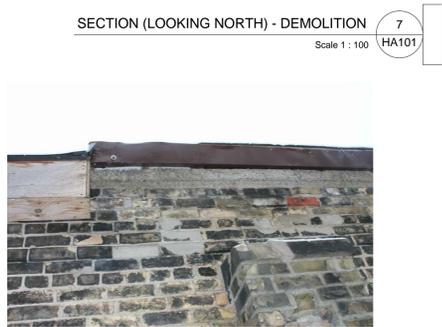
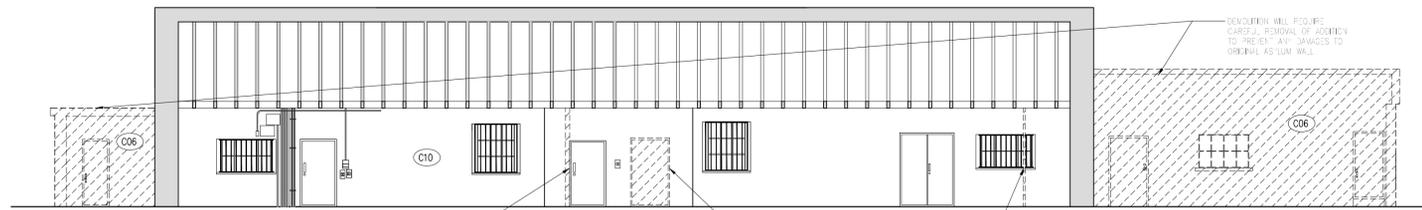


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Key Plan

Key Plan 1
 Scale 1 : 500 HA100

HA-100



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2	2014-09-29	SITE PLAN CONTROL
3	2014-08-28	REVIEW
4	2014-07-17	REVIEW



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 T: (416) 925-4407 F: (416) 925-8101 info@era.on.ca www.era.on.ca

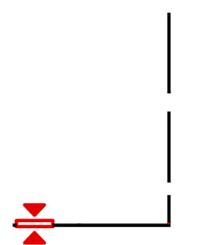
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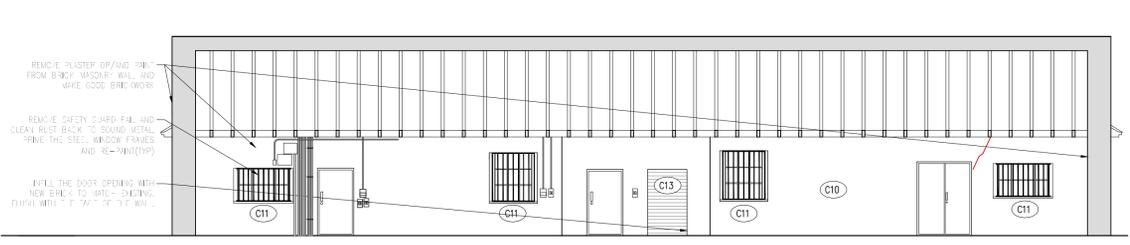
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Segment 6 Demolition Plan & Elevations

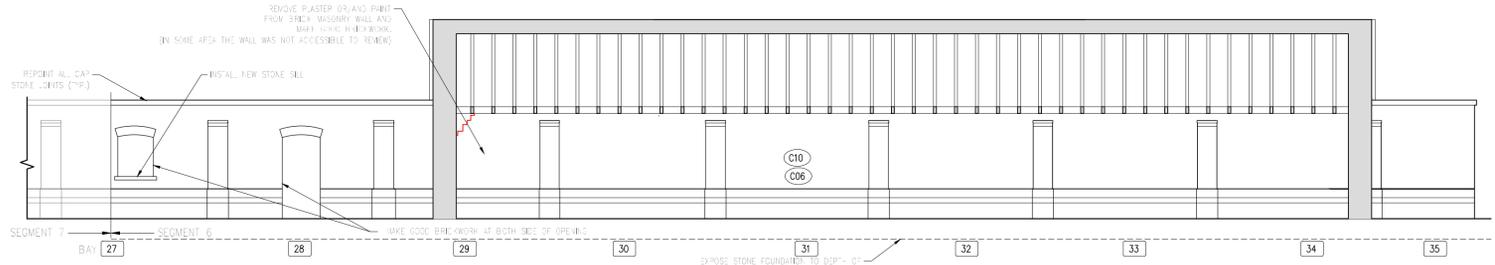


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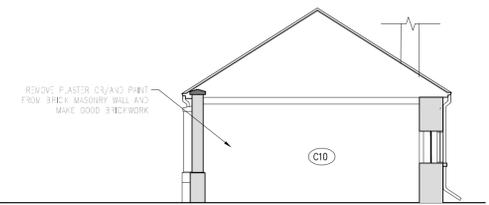
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- SOLED MASONRY
- FLALED MASONRY
- CRACK IN MASONRY
- FERROUS METAL & FIXTURES
- PRODUCT PATCH
- DRAWN STONE COP TO BE DEMOLISHED



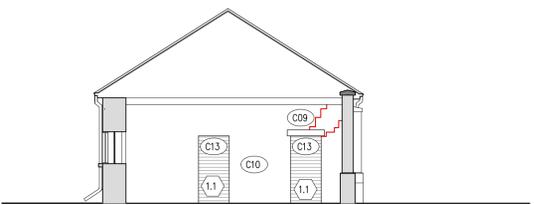
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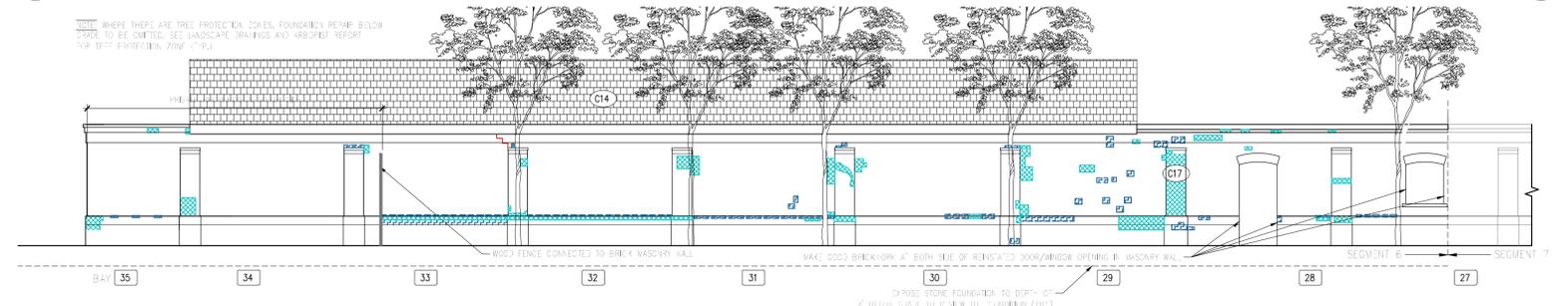
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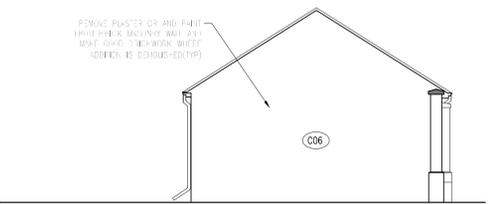
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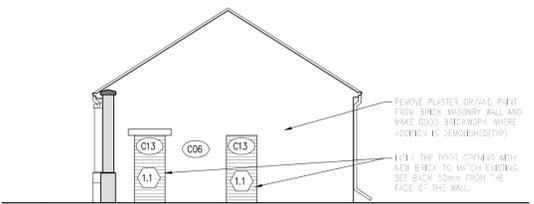
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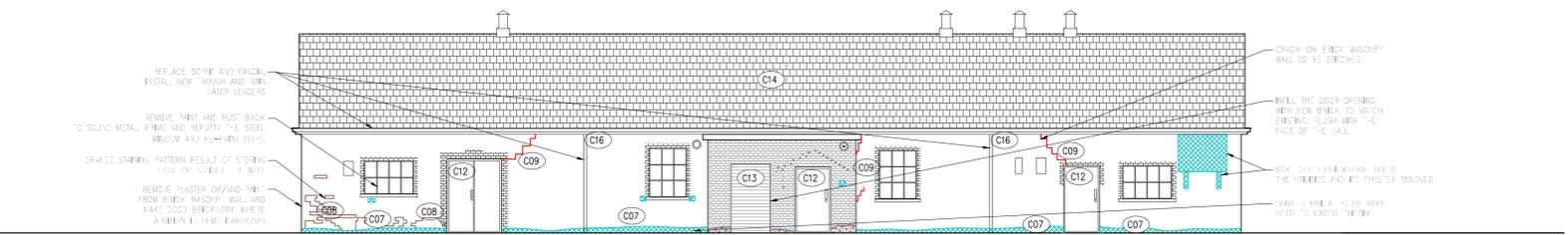
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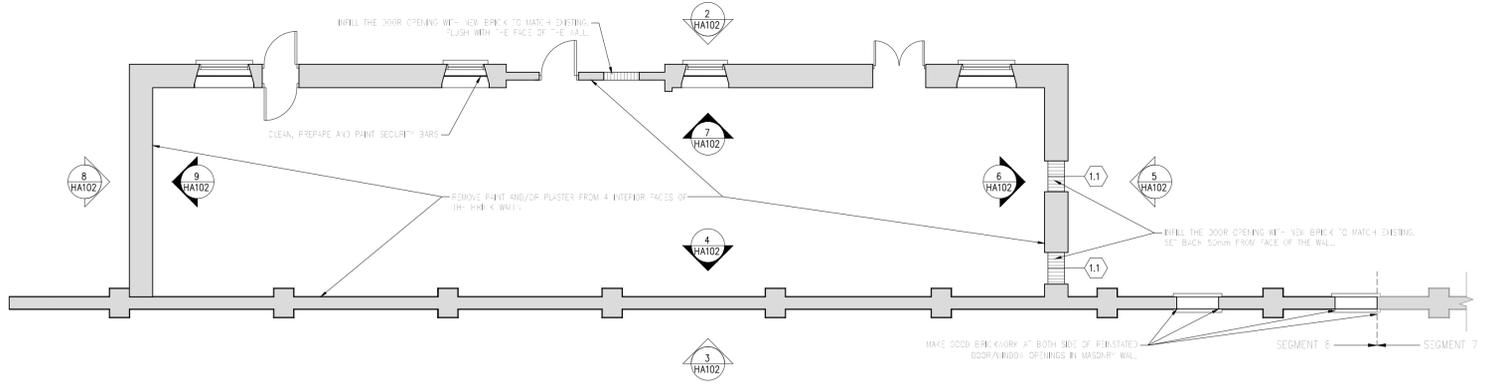
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East Elevation
Scale 1 : 100
HA102



North Elevation
Scale 1 : 100
HA102



Plan
Scale 1 : 100
HA102

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E.A.A.

E.A.A. Architects Inc. 10 St. Mary St. Suite 801, Toronto, Canada, M4Y 1P9
T: (416) 963-4457 F: (416) 963-8761 info@eaa.on.ca www.eaa.on.ca

The Centre for Addiction and Mental Health
CAMH Phase 1C

1001 Queen Street West, Toronto Ontario



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Segment 6
Conservation Plan & Elevations



Wall Covered by Vine and Vegetation



Waive in Brick Coursing Above the Infill Opening



Crack on the South East corner



Cement Cap and Deteriorated Masonry Wall



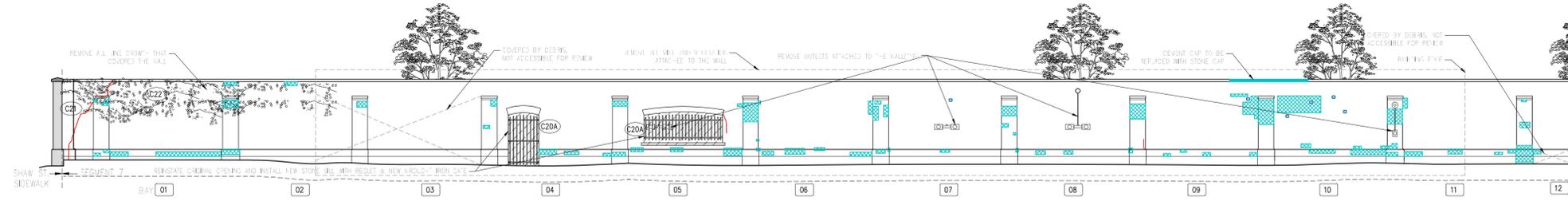
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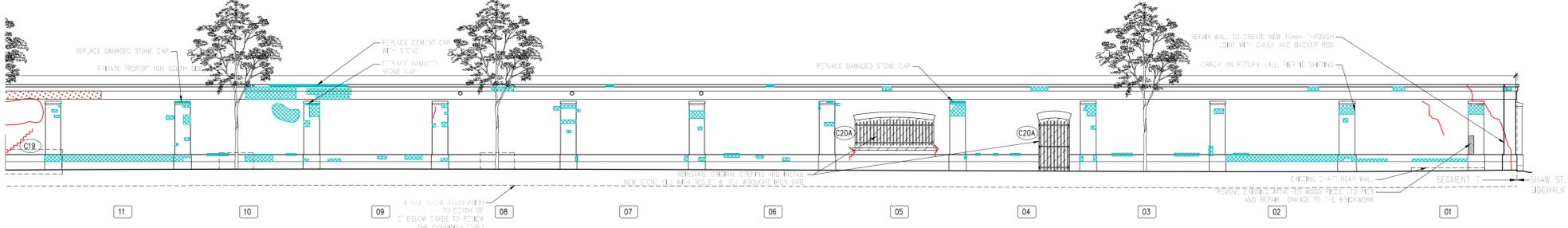
Deteriorated Pier on The North Side



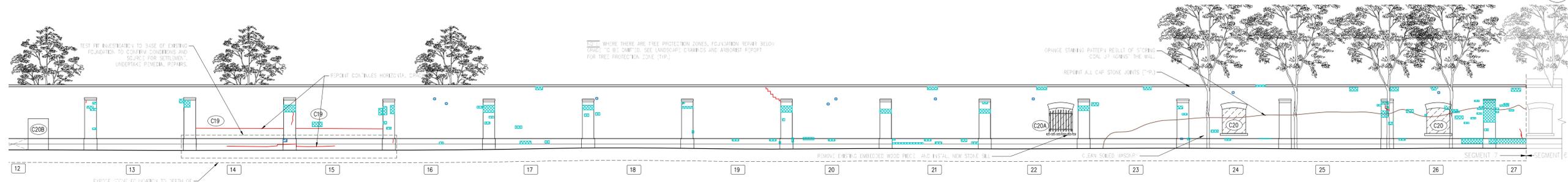
The Wall Covers by Debris - Not Reviewed



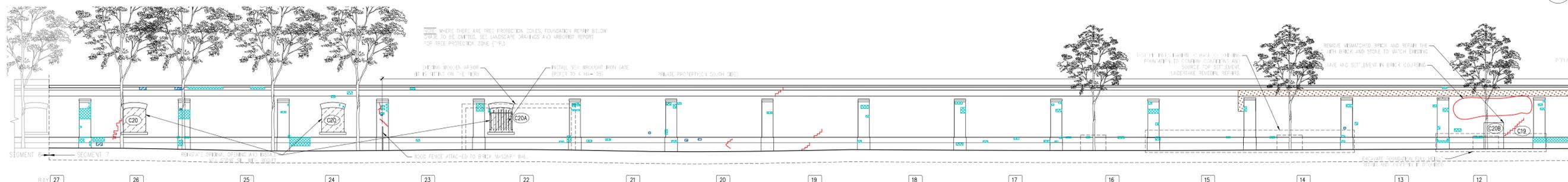
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South Elevation 3
Scale 1:100 HA103

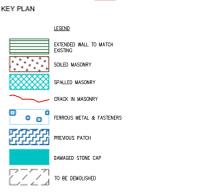
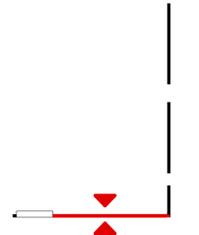


North Elevation 2
Scale 1:100 HA103



South Elevation 1
Scale 1:100 HA103

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CAMH Phase 1C

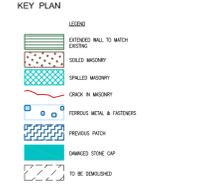
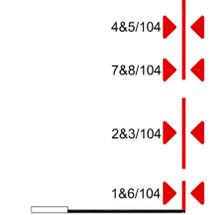
1001 Queen Street West, Toronto Ontario



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Segment 7
Conservation Elevations

HA-103



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	2014-09-29	SITE PLAN CONTROL
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2	2015-08-05	SITE PLAN CONTROL

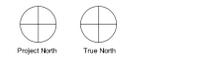
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The Centre for Addiction and Mental Health
CAMH Phase 1C

1001 Queen Street West, Toronto Ontario



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 PROJECT NO. 03-098-04
 ISSUE DATE 21 JULY 2015

Segment 8, 9, 10 and 11 Conservation Elevations

HA-104



Adjacent Trees and Services, Snow Pile Up Against the Wall—Refer to 5.2, Conservation Plan:

- C-01: Selectively remove trees and tree roots as identified by Arborist.
- C-02: Reset and/or replace any loose or missing bricks and stones. Deep repoint the joints using a soft-lime based mortar. Provide mortar fillet to top of water table where sloped bricks are missing to ensure positive drainage.
- C-03: Maintenance staff to not pile snow against wall when clearing paths and walkways and to discontinue the use of de-icing salts near the wall.
- C-04: Replace localized spalling of brick below existing stone caps. Install metal drip edge flashing on top of wall below caps. Reinstall caps with pin connections and new mortar joints.
- C-05: Replace deteriorated bricks and repoint brick joints in piers where damage is minor. Where major damage to brick pier exists, rebuild missing sections of brickwork and fully repoint pier. Install new metal drip edge below pier stone cap and reinstall stone cap, increasing projection drip.

East Storage Building, Segment 6, Masonry, Windows, Doors, Roof, Gutters and Flashing North Side—Refer to 5.3.1, Conservation Plan:

- C-06: Carefully demolish the east and west additions, including interior fixtures. The condition of the adjacent Asylum Wall and the East Storage Building elevations will need to be evaluated after the demolition work is complete to determine if additional masonry repairs are required. (Note: Quantities of the red bricks are to be salvaged for the infill repairs described in the Windows & Doors portion of this section).
- C-07: Selectively replace spalled bricks and fully repoint open joints near grade and adjacent to windows, doors and downspout locations.
- C-08: Clean areas of mild efflorescence from brickwork
- C-09: Bond cracks in brickwork using lime-based mortar and replace any cracked brick units.
- C-10: Fully remove paint from masonry. Test panels will be required to determine an appropriate method for the paint removal.
- C-11: Remove safety bars from the windows and repair holes. Remove paint from window sashes and frames down to bare metal. Remove surface corrosion and prime with zinc-rich corrosion inhibiting primer. Renew the glazing putty and repaint with two coats of metal paint. Colour to be selected by Heritage Consultant.
- C-12: Replace metal doors and frames with new doors that are detailed to suit heritage character of building (3 locations).
- C-13: Remove 3 unused doors and frames on north and east elevations. Infill openings on east elevation using salvaged or new bricks to match adjacent original bricks. Infill opening in existing red brick infill portion on north elevation using salvaged bricks to match adjacent red bricks.
- C-14: Remove existing asphalt shingles. Replace any deteriorated roofing boards. Install new asphalt shingle roof complete with ridge flashing and drip edge flashing at the eaves and gable ends. Install high and low venting of the roof to meet OBC requirements.
- C-15: Remove plywood soffit on south elevation and inspect condition of brick and roof edge. Extend roof overhang detail beyond face of piers.
- C-16: Replace gutters and downspouts on north elevation.

Segment 6, South Side—Refer to 5.3.2, Conservation Plan:

- C-17: Rebuild missing sections of brickwork and fully repoint pier. Install new metal drip edge below pier stone cap and reinstall stone cap, increasing projection drip.
- C-18: Review condition of openings on north side after addition is removed. Reinstall original openings to create physical connections between CAMH site and Workman Park. Introduce new stone sill with reglet to protect brick below openings.

Segment 7—Refer to 5.3.3, Conservation Plan:

- C-19: Stabilize stone foundation in Bay 12, 14 & 15 with underpinning. Fill cracks in brick joints using soft, lime-based mortar.
- C-20: Reinstall original opening in Bay 24 and 26 to create physical connection between the CAMH site and Workman Park. Introduce new stone sill with reglet to protect brick below openings.
- C-20A: Reinstall infill opening in Bay 04, 05 & 22 along this segment and introduce new stone sill with reglet. Install new wrought iron gate as per detail.
- C-20B: Replace existing mismatched brick in Bay 12 with brick and stone to match.
- C-21: Rebuild SE corner with a new expansion joint detailed to allow for differential movement between the two Segments.
- C-22: Lower grade at former Garden. Remove all vines and vegetation growth and level grade.
- C-23: Greenhouse and Maintenance Building to be demolished, refer to Landscape drawings for site rehabilitation.

Segment 11—Refer to 5.3.7, Conservation Plan:

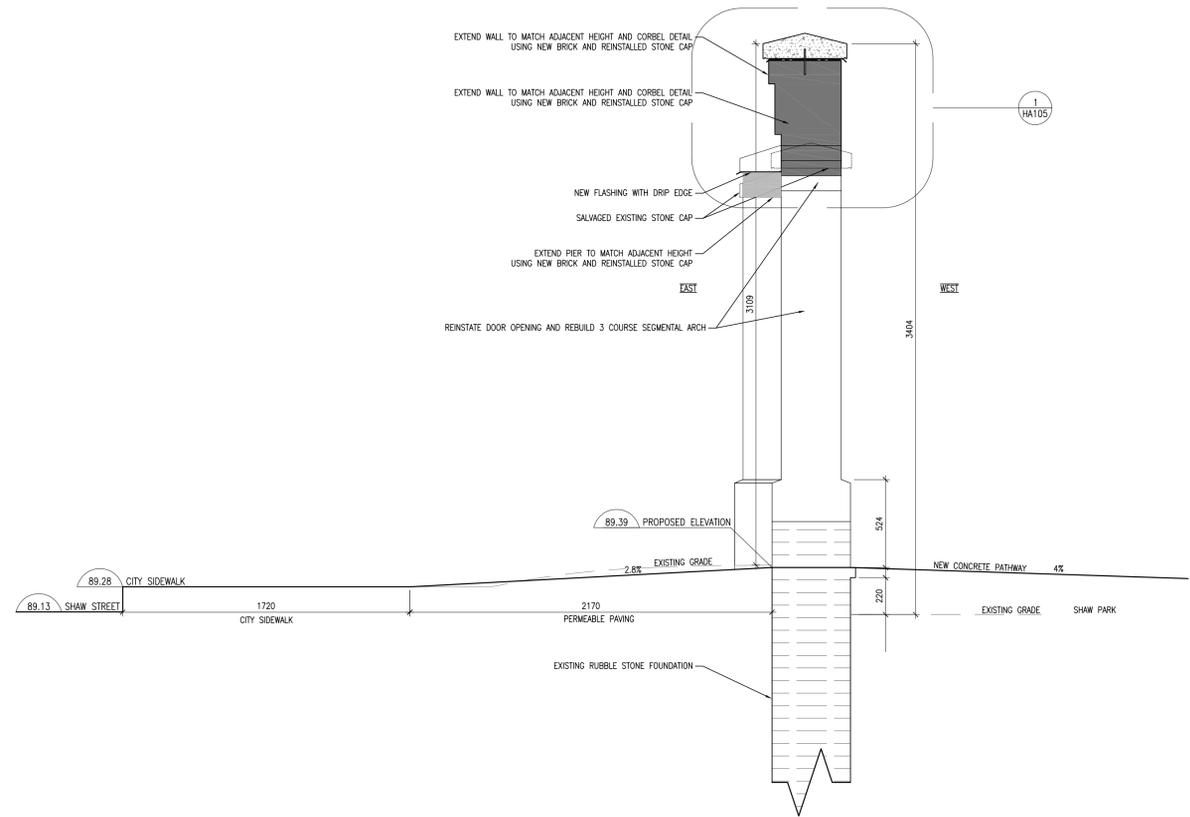
- C-24: Dismantle Bay 43 of Segment 11 to provide repair material, reduce the extent of fabric requiring repair and facilitate visual openness into the park area from the intersection at Queen St W and Shaw Street. Salvage material removed for reuse. Install new stone cap on plinth to remain; repair plinth and foundation.
- C-25: Replace spalled bricks and fully repoint brick courses below cap on both sides of wall. Replace remaining cement caps in Bays 34-42 with salvaged stone caps that have been stockpiled on-site and additional new cap to match existing as required. Install metal drip edge flashing on top of wall below caps. Install caps with pin connections and new mortar joints.
- C-26: Restore original height at Bay 32/33 and adjacent pier around the bricked in opening and reinstall opening with repair of arch. Salvage material removed for reuse.

Segment 10—Refer to 5.3.6, Conservation Plan:

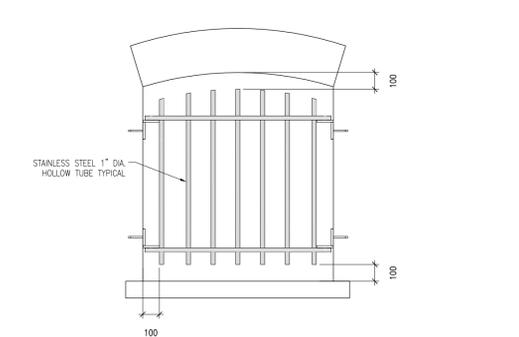
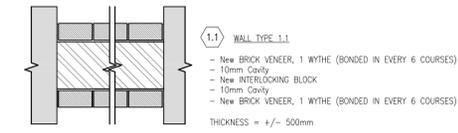
- C-27: Dismantle Bay 26 & part Bay 27 to provide repair material, and provide clearance from new road allowance.

Typical Issues—Refer to 5.2, Conservation Plan:

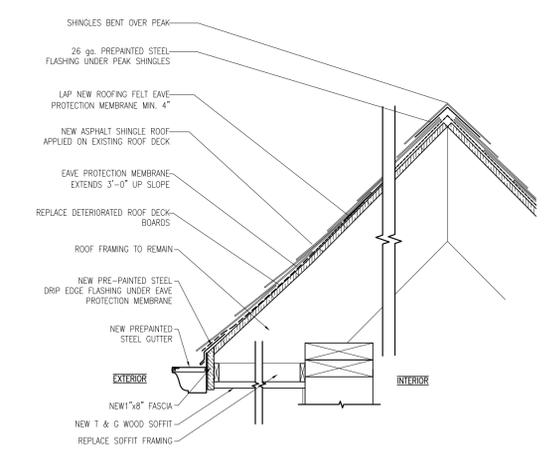
- C-28: Expose stone foundation to depth of 2'0" below grade to review condition.
- C-29: Remove all cement-based parging and pointing from the full extent of the stone foundation. Reset and/or replace any loose or missing stones. Deep repoint the joints using a soft-lime based mortar. (Note: Additional grouting of core structure may be required for some sections.)
- C-30: Ensure grade is at a relatively equal level, on each side of the wall. This may require the grade to be built up or lowered on one side, to ensure the maximum difference in grade is equal to the thickness of the foundation, +/- 400 mm (+/-16"). This work can only proceed in conjunction with foundation repair, grouting and the installation of a drainage layer.
- C-31: Excavate to 2'-0" below final grade at all accessible locations of the wall. Clean, deep repoint and grout if voids are encountered. Parge smooth to grade and install drainage layer prior to back fill.
- C-32: Remove all signs, ferrous metal, fastener and outlets from the wall and repair damage to the brickwork.



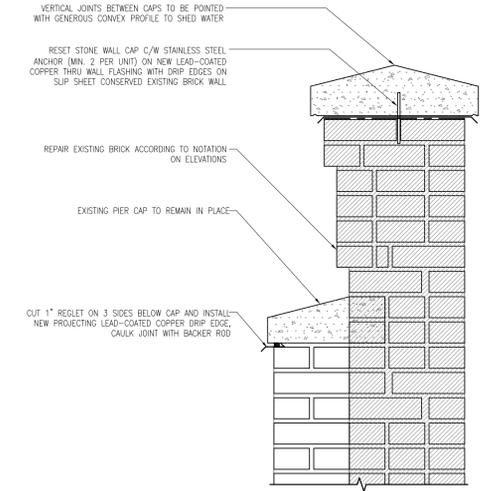
SECTION OF REINSTATED OPENING- SEGMENT 11
Scale 1 : 20 HA105



NEW WROUGHT IRON GATE DETAIL
Scale 1 : 20 HA105



Detail
Scale 1 : 10 HA105



RESET EXISTING CAP DETAIL
Scale 1 : 10 HA105

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Rev.	Date	Issued
	2014-07-17	REVIEW
	2014-09-29	REVIEW
	2014-09-29	SITE PLAN CONTROL
1	2015-07-21	SITE PLAN CONTROL
2	2015-08-05	SITE PLAN CONTROL

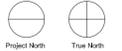
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Michael M. McClelland
Licence 5454

E.B.A. ARCHITECTS INC. 10 St. Mary St. Suite 201, Toronto, Canada, M5Y 1P9
T: (416) 963-4497 F: (416) 963-8781 info@ebainc.ca www.ebainc.ca

The Centre for Addiction and Mental Health
CAMH Phase 1C

1001 Queen Street West, Toronto Ontario



SCALE As Shown
PROJECT NO. 03-098-04
ISSUE DATE 21 JULY 2015

Details